

# **Index File**

## **Application No. YVA-20-05 The Fifes and Drums of York Town**

**Application No. YVA-20-05** is a request to authorize the construction of a two-story building for use as a rehearsal hall with accessory office and storage space for the Fife and Drum Corps on property located at 202 Church Street and further identified as Assessor's Parcel Nos. 18A-1-32 and 18A-1-32A.

The property will be available to the Corps under the terms of a land exchange agreement between the National Park Service and York County.

The staff is recommending approval.

### **Attachments:**

1. Staff Report
2. Zoning map
3. Site plan
4. Building footprint plan
5. Landscape plan
6. Architectural elevations (4)
7. Building floor plan (2)
8. Correspondence from Colonial National Historical Park, 4/12/05
9. Minutes of March 23, 1005 HYDC meeting
10. Correspondence from Colonial National Historical Park, 1/28/05
11. Proposed Resolution No. PC05-21

# COUNTY OF YORK

## MEMORANDUM

**DATE:** May 3, 2005 (PC Mtg. 5/11/02)

**TO:** York County Planning Commission

**FROM:** Amy M. Parker, Senior Planner

**SUBJECT:** Application No. YVA-20-04, Yorktown Fife and Drum Corps

### **ISSUE**

This application requests Yorktown Village Activity approval, pursuant to Section 24.1-327(b)(2) of the Zoning Ordinance, to authorize the construction of a two-story building for use as a rehearsal hall with accessory office and storage space for the Yorktown Fife and Drum Corps. The property is located at 202 Church Street in Yorktown and is further identified as Assessor's Parcel Nos. 18A-1-32 and 18A-1-32A. The property will be available to the Corps under the terms of a land exchange agreement between the National Park Service and York County.

### **DESCRIPTION**

- Property Owner: United States of America, National Park Service, Colonial National Historical Park. The referenced land exchange agreement grants an easement on the subject property to York County, the sole purpose of which is to provide "the construction, operation and maintenance of a structure to be used by the Yorktown Fife and Drum Corps."
- Location: 202 Church Street (Route 1003)
- Area: 9,150 square feet (total area of both subject parcels)
- Frontage: Approximately 70.0 feet on Church Street
- Utilities: Public water and sewer
- Topography: Flat
- 2015 Land Use Map Designation: Yorktown Historical Village
- Zoning Classification: YVA – Yorktown Village Activity
- Existing Development: none
- Surrounding Development: Vacant property on all sides; future access road connecting Main and Ballard Streets on the abutting southwestern parcel
- Proposed Development: Rehearsal hall with accessory office and storage

## **CONSIDERATIONS/CONCLUSIONS**

1. The subject building would be constructed on two adjoining parcels located on the east side of Church Street, approximately 220 feet south of its intersection with Main Street. The Corps currently leases a 1650-square foot building (owned by the National Park Service) located at 402 Main Street for its activities. This building is not large enough to adequately accommodate the 70-member Corps rehearsal, office, storage and performance-staging needs. The proposed 3000-square foot building is needed to provide floor space to house an office, rehearsal area, formation hall, drum rack area, uniform fitting area and records storage area. In addition to storage and office needs, the facility would be used for practice activities (twice per week) and to provide a staging and closing area for Corps performances (at least twice per week).
2. The subject parcel is zoned YVA (Yorktown Village Activity) and the Comprehensive Plan designates Yorktown as an historical village without reference to specific land uses. Section 24.1-327(b)(4) of the Zoning Ordinance stipulates that any proposed new use, other than single-family detached dwellings, shall be subject to review and approval by the Board of Supervisors in accordance with the same procedures as special use permits.
3. Section 24.1-327(c) of the Zoning Ordinance specifies those uses that may be permitted within the YVA district subject to a determination – in this case by the Board of Supervisors following a recommendation from the Planning Commission – that the use in the location proposed is substantially in conformance with the Yorktown Master Plan. Specific uses that may be permitted include:
  - Art galleries, museums, tourist centers, community centers, performing or cultural arts centers, and similar types of uses intended to promote cultural resources

Staff believes that the proposed rehearsal hall is consistent with this listing.

4. The Zoning Ordinance requires a “plan for accommodating the pedestrian, bicycle, automobile, and trolley traffic, parking and loading demands which the development can be expected to generate” to be submitted as part of any development proposal in the YVA district. A trolley stop is located at the corner of Main and Church Streets, and a sidewalk is proposed to lead from the building to Church Street. Section 24.1-327(g)(1)(a) of the Zoning Ordinance states that a parking plan submitted as part of any development proposal within the YVA zoning district “may include provisions for public or private off-site parking as well as on-site parking.” Off-site parking would be available in the existing public parking area directly across the street from the proposed facility (between Church and Read Streets). The National Park Service has confirmed the availability of 27 spaces (minimum Zoning Ordinance requirement) within this lot for use by the Corps (see attached correspondence from the Colonial National Historical Park Administrator).
5. Plans for the proposed building were reviewed and approved by the by the Historic Yorktown Design Committee (HYDC) on March 23, 2005. The Committee approved

the proposed building subject to several conditions addressing exterior architectural design and facade materials and colors. A copy of the Committee meeting minutes is attached. An approval condition for this SUP application references the HYDC conditions.

6. In accordance with the National Historic Preservation Act (NHPA), a Section 106 review was required of the National Park Service for the proposed building, due to its location on property listed on the National Register of Historic Places (Yorktown Village). This review process requires Federal agencies, in this case the National Park Service, to consider effects and potential impacts of their actions, such as construction of a new building, on listed historic properties. Review criteria address potential impacts to the integrity of a listed site, which may include consideration of a project's location, design, building materials and/or historic setting. The review, coordinated through the Virginia Department of Historic Resources, was completed in January 2005. The proposed project was found to have "no adverse impact" on the historic properties within the Colonial National Historic Park. A copy of the approval letter from the National Park Service to the County is attached.

## **RECOMMENDATION**

Staff is of the opinion that the proposed building is consistent with the scale and character of development in Yorktown. There are no anticipated adverse impacts on vacant neighboring properties, and ample parking is available for patrons of the facility in the public lot across Church Street. The proposal has successfully completed the NHPA Section 106 review process and the HYDC has made the finding that the proposed project is consistent with the Yorktown Historic District and Design Guidelines. The Fife and Drum Corps has been an eminent civic organization in Yorktown for many years, and development of the proposed building to accommodate their need for expansion will insure the viability of the organization and its continued service to the County and its visitors. Therefore, based on the considerations and conclusions as noted, staff recommends that the Commission forward this application to the Board of Supervisors with a recommendation to approve the proposed building. This can be accomplished through the adoption of proposed Resolution No. PC05-21.

## **AMP**

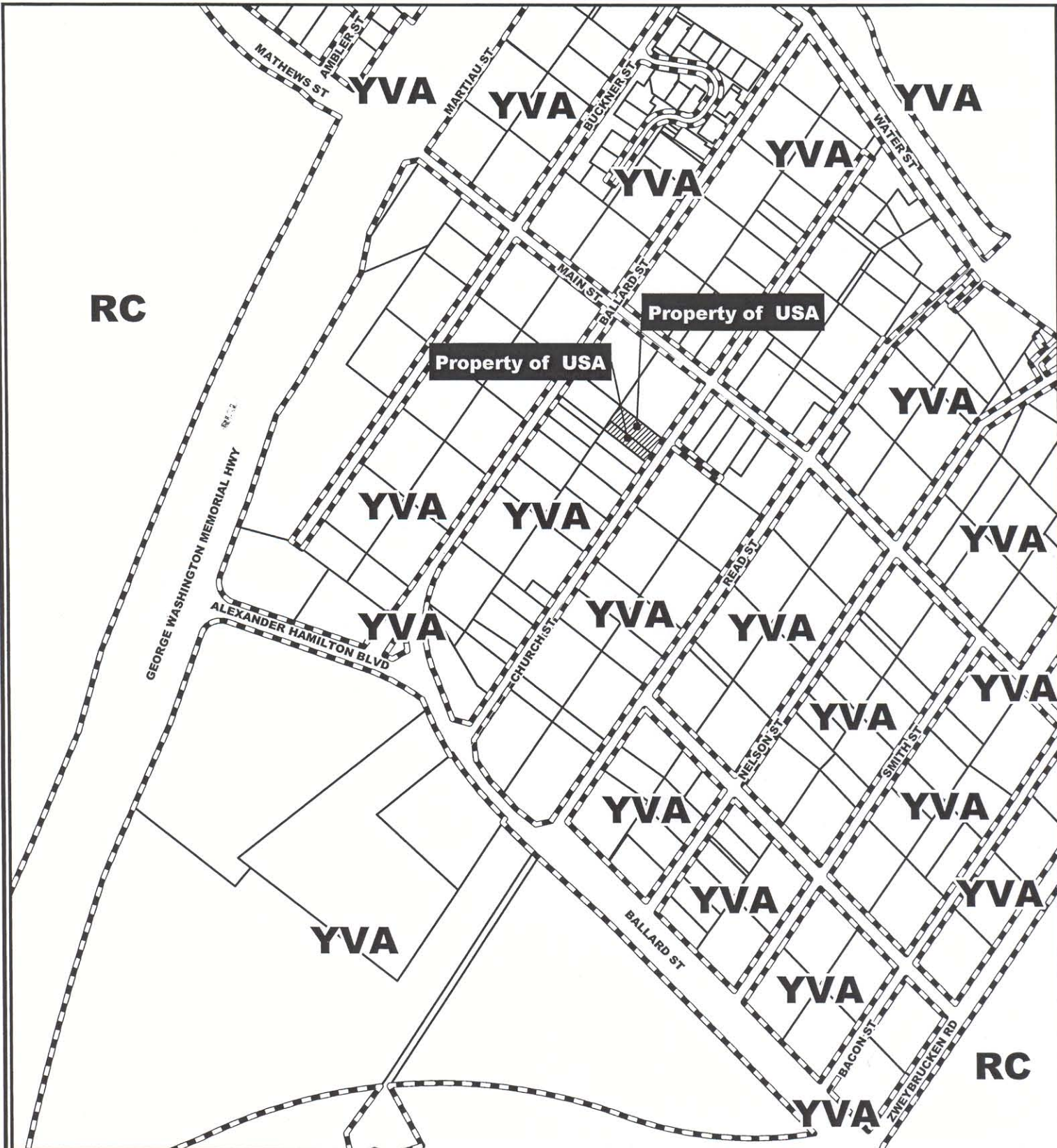
### **Attachments:**

- Zoning Map
- Site Plan
- Building footprint plan
- Landscape plan
- Architectural elevations
- Building floor plan
- Correspondence from Colonial National Historical Park Superintendent dated 4/12/05
- Minutes of March 23, 2005 HYDC meeting
- Correspondence from Colonial National Historical Park Superintendent dated 1/28/05
- Proposed Resolution No. PC05-21

**APPLICANT**  
**York County Fire And Drum Corps**  
To authorize construction of a new two-story building  
P12c-2482-0270, P12c-2462-0241

# ZONING MAP

**APPLICATION NUMBER:** YVA-20-04



\* = Conditional Zoning

0 162.5 325 650 Feet

Printed on April 11, 2005



**LIBRARY TILE NUMBER:**

**SOURCE: YORK COUNTY  
GIS PARCEL DATA and  
ZONING COVERAGE**

**Lr008**

THIS IS NOT A LEGAL PLAT.  
This map should be used for  
information purposes only. It is  
not suitable for detailed site planning.

# THE FIFES AND DRUMS OF YORKTOWN SITE PLAN YORK COUNTY, VIRGINIA

SITE

VICINITY MAP  
SCALE: 1" = 2000'

VICINITY MAP  
SCALE: 1" = 1000'

## STATISTICAL INFORMATION

PROPERTY OWNER  
ELECTION DISTRICT  
ZONING  
TAX MAP/PARCEL NO.  
GPIN NUMBER  
WATER  
SEWER

NATIONAL PARK SERVICE  
YORKTOWN  
YVA (YORKTOWN VILLAGE ACTIVITY)  
018A 1 32  
P12C-2482-0270  
NEWPORT NEWS WATERWORKS  
YORK COUNTY

## LEGEND

EXISTING	NEW
PROPERTY LINE	PROPERTY LINE
CONTOURS	CONTOURS
SILT FENCE	SILT FENCE
TREE PROTECTION	TREE PROTECTION
IRON PIPE/PIPE FOUND	IRON PIPE/PIPE FOUND
TREE PROTECTION	TREE PROTECTION

- NOTES:
1. THE PROPERTY APPLICANT TO BE IN ZONE 4 OR COMMUNITY PANEL 3000-0000. PLANNED MAP IS DATED DECEMBER 10, 1995.
  2. EXISTING INFORMATION WAS OBTAINED FROM A SURVEY BY NORMAN/LINE ASSOCIATES, P.C. DATED 10/1/95.
  3. CONSTRUCTION ROAD AND CONTOURS WERE OBTAINED FROM THE SITE PLAN BY THE INC. DATED 5/1/95 (DRAWING # 01-5).
  4. EXISTING INFORMATION TO BE PROVIDED BY OWNER.
  5. EXISTING ROAD LOCATION PROVIDED BY OWNER.
  6. LANDSCAPING PLAN PROVIDED BY OWNER.



THE FIFES AND DRUMS OF YORKTOWN  
SITE PLAN  
YORK COUNTY, VIRGINIA

*Richard*

**Rickmond Engineering, Inc.**  
1643 VULFRADE PARK  
N.W. HANCOCK, VA 23065  
TEL: (757) 225-1776  
FAX: (757) 225-4885  
WWW.RICKMOND-ENG.COM

ENCLOSURE  
ENVIRONMENTAL

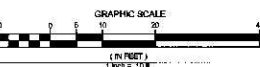
Project No. 04150

1 of 1

## DEVELOPER:

THE FIFES AND DRUMS OF YORKTOWN  
CONTACT: WALT AKERS, PRESIDENT  
P.O. BOX 489  
YORKTOWN, VIRGINIA 23690  
(757) 846-4810

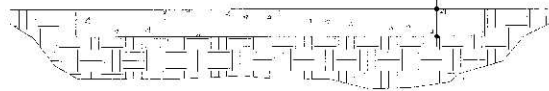
CHURCH STREET



TO PUBLIC  
PARKING

PROPOSED 2  
STORY FRAME  
BUILDING  
FF ELEV=55.18





**SIDEWALK DETAIL**  
1/2" = 1'-0"

### SIDEWALK NOTES

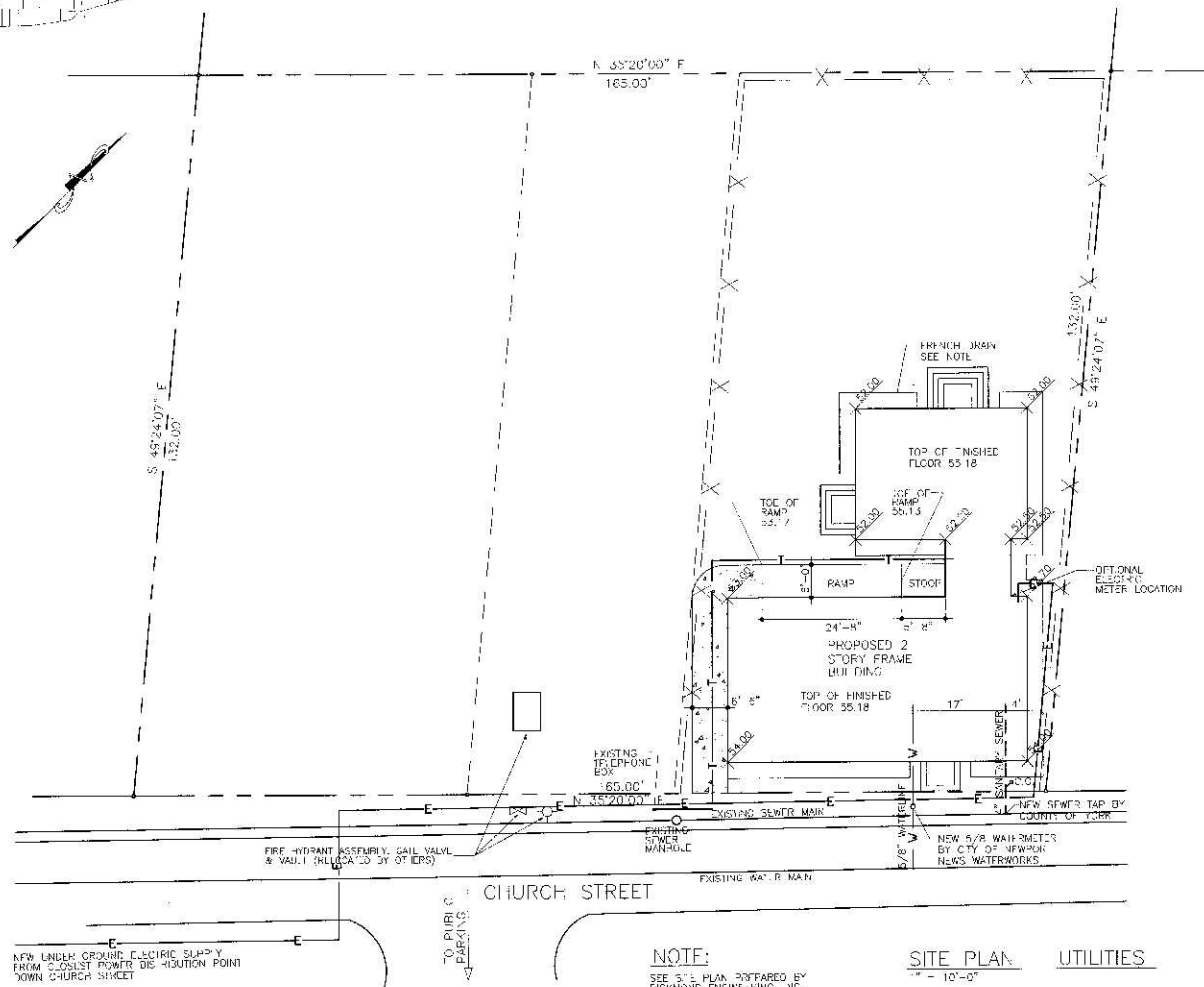
1. THIN 5/16" RE CRACK CONTROL JOINTS EVERY 10' HORIZ. AND AT 10'-0" MAX. VERT. TO TRANSVERSE EXPANSION JOINTS.
2. ALL SIDEWALKS SHALL BE LAID ON 4" MIN. THICK POLYETHYLENE.
3. WIDTHS ARE AS SHOWN.

### NOTE:

PROVIDE 2'-0" WIDE X 2'-0" DEEP R-10 IN DRAIN AROUND BUILDING

### LEGEND

- W - WALLS IN
- SS - SANITARY SEWER
- E - ELECTRICAL (UNDERGROUND)
- T - TELEPHONE (UNDERGROUND)



### NOTE:

SEE SITE PLAN PREPARED BY RICHMOND ENGINEERING, INC. 1247 INTERMEDIATE TRAIL WILLAMSBURG, VIRGINIA 23185 FOR ALL SITE PLAN INFORMATION AND EXISTING LANDSCAPING INFORMATION

### SITE PLAN UTILITIES

REVISIONS	BY
1	
2	
3	
4	
5	



**BAY DESIGN**  
ARCHITECTURE - PLANNING  
11747 - DUNCAN AVE. NEWPORT NEWS, VA 23606  
(804) 399-6963



### SITE PLAN - UTILITIES

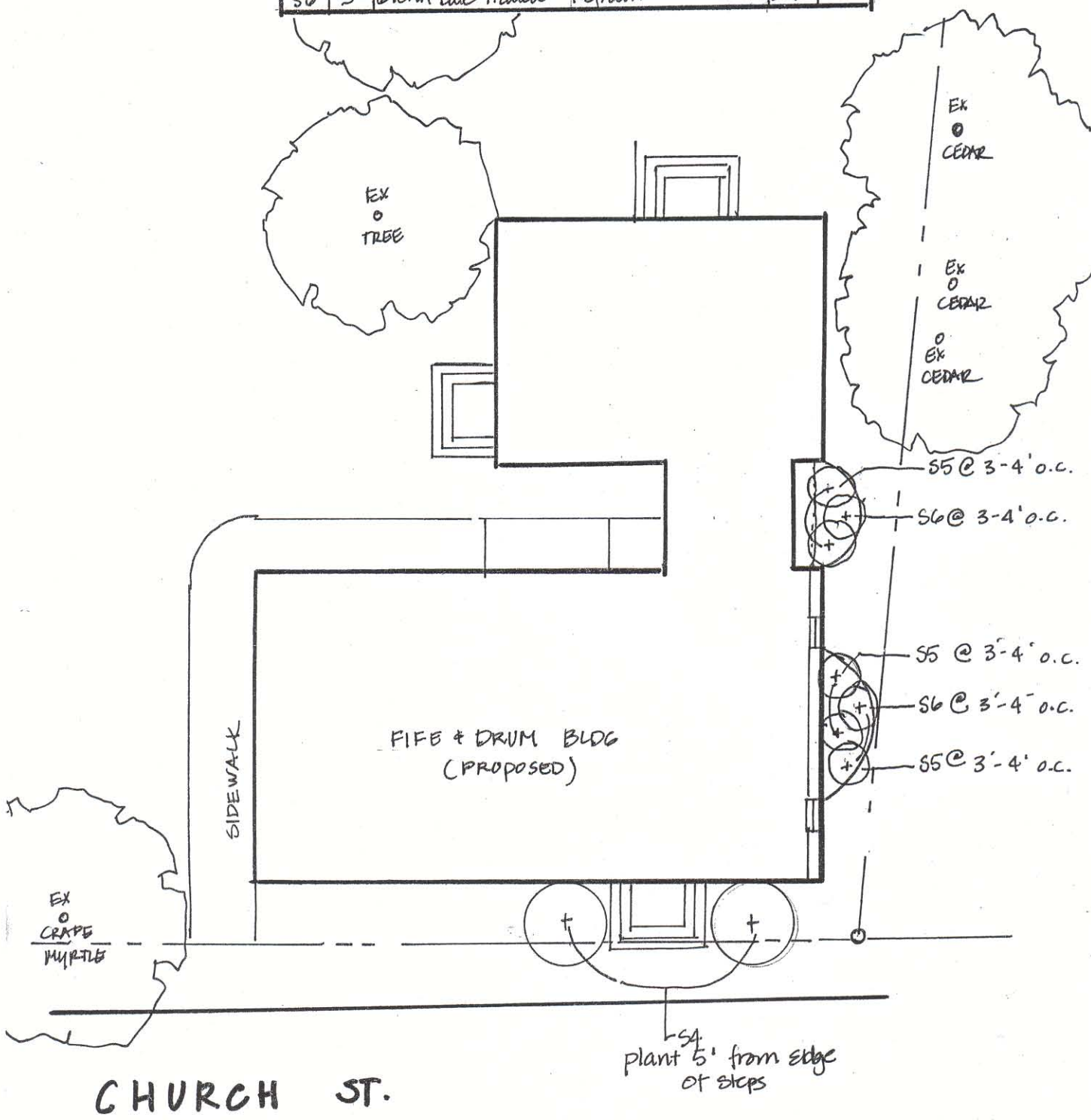
A NEW BUILDING FOR  
**FIFES AND DRUMS OF YORK TOWN**  
302 CHURCH ST  
YORKTOWN, VIRGINIA

DATE	6/1/04
SCALE	1" = 10'-0"
DRAWN	T.A.L.
PROJECT NO.	040158
SHEET	1
OF 25	

Imperial - includes S&M from previous drawings

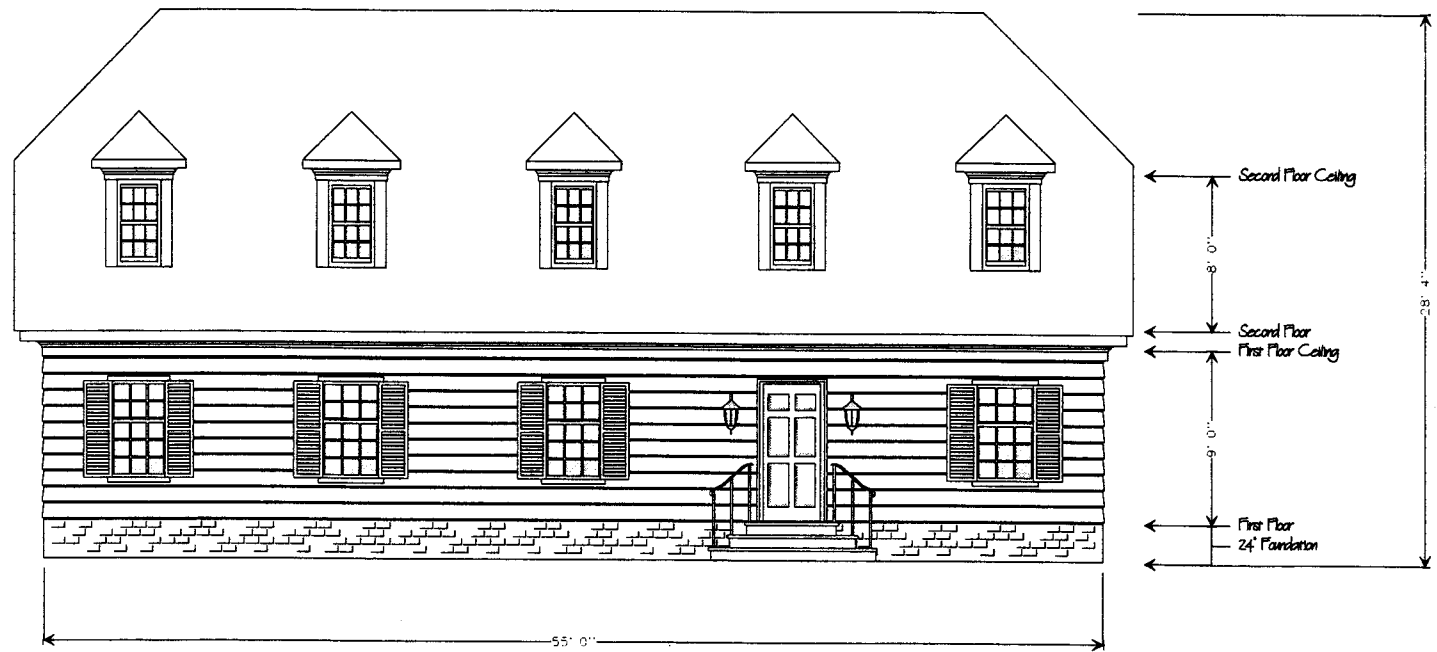


PLANTING LIST					
SYM	QUAN	COMMON NAME	LATIN NAME	SIZE	CON
S4	2	American Boxwood	Buxus sempervirens	2-4'	CON
S5	4	Glenn Dale Azalea 'McOmans'		2-4'	CON
S6	3	Glenn Dale Azalea 'Refrain'		2-4'	CON



ALTERNATIVE PLANTING  
 FIFE & DRUM BLDG  
 1" = 10'-0"  
 CHURCH ST., YORKTOWN, VA  
 August 6, 2004 NPS.

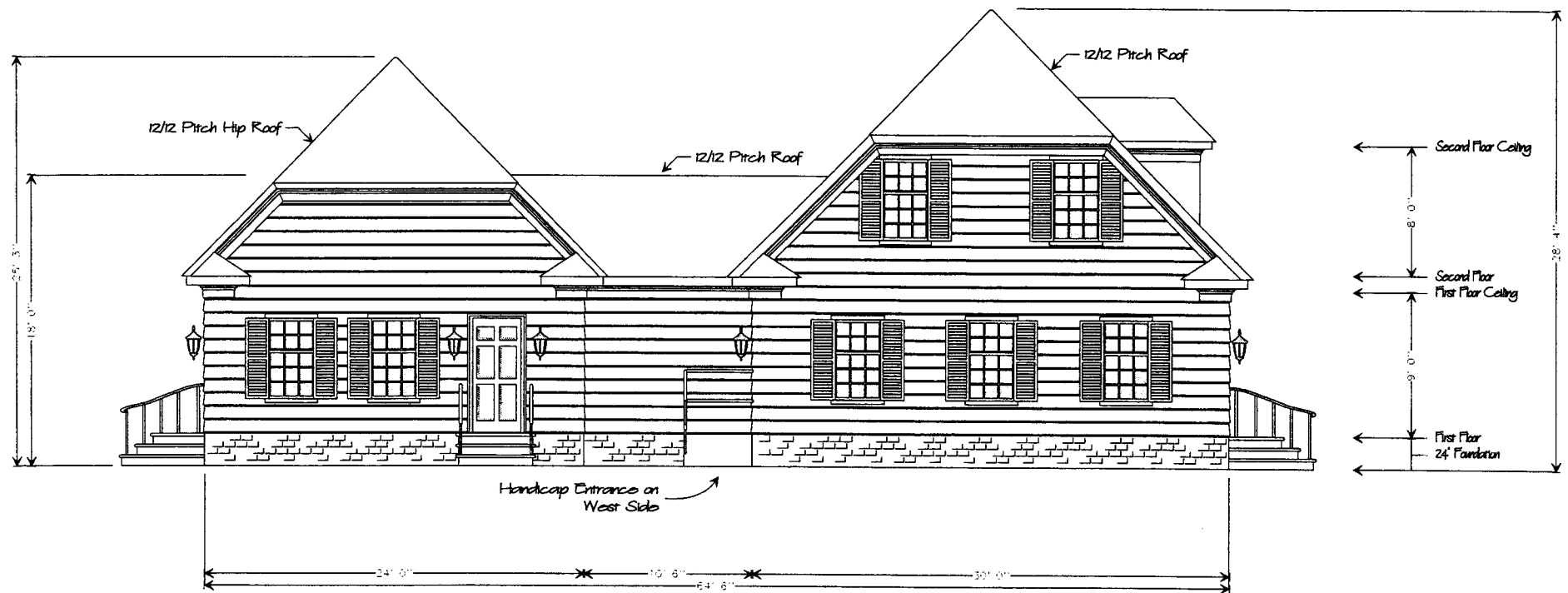




FIFES AND DRUMS OF YORK TOWN - EAST ELEVATION

SUBMITTED DESIGN - 95% APPROVAL

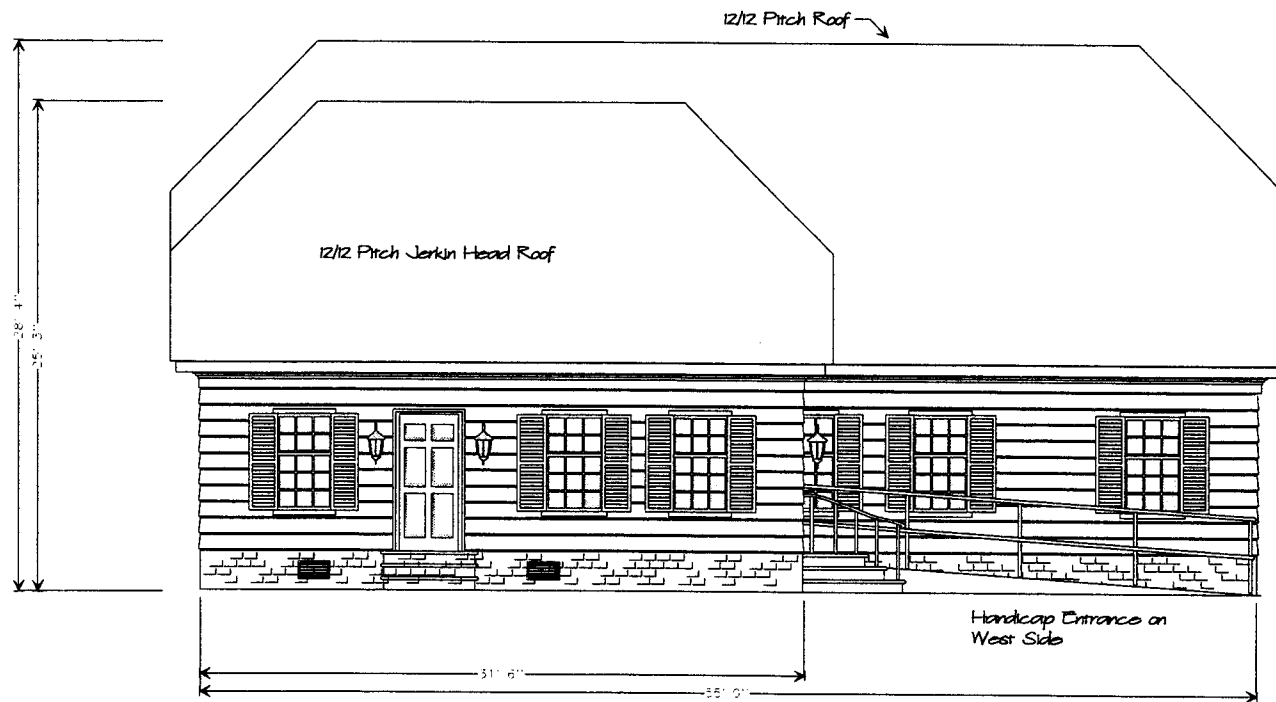
JANUARY 1ST, 2005



# FIFES AND DRUMS OF YORK TOWN - SOUTH ELEVATION

SUBMITTED DESIGN - 95% APPROVAL

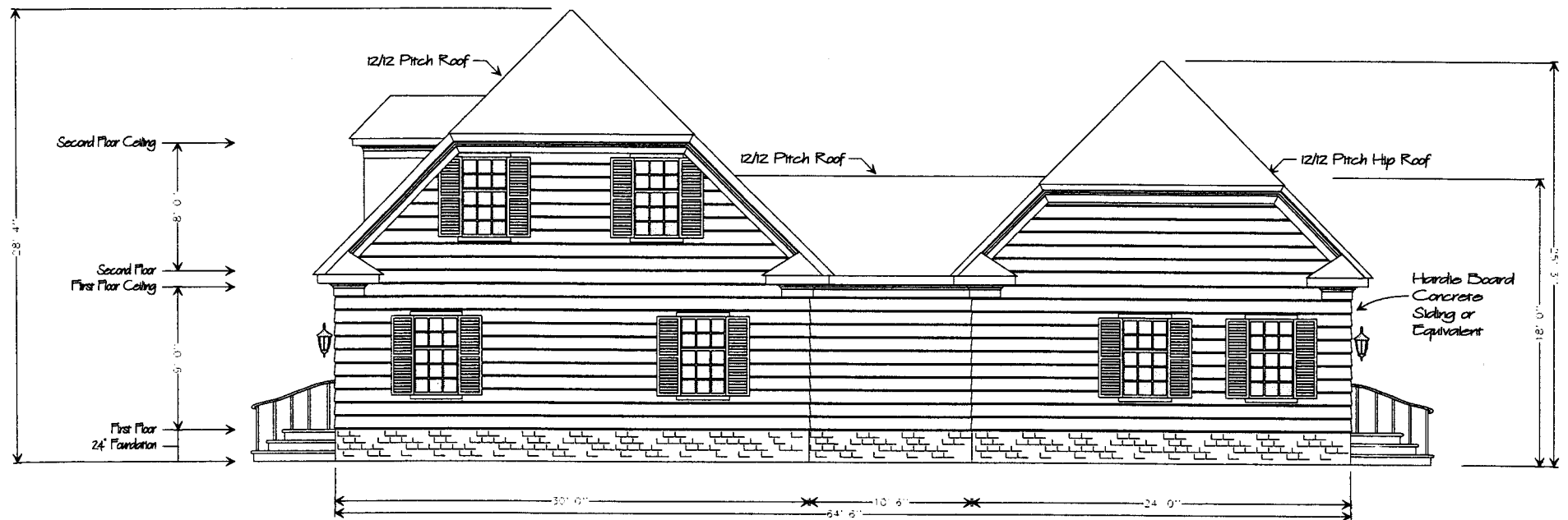
JANUARY 1ST, 2005



FIFES AND DRUMS OF YORK TOWN - WEST ELEVATION

SUBMITTED DESIGN - 95% APPROVAL

JANUARY 1ST, 2005



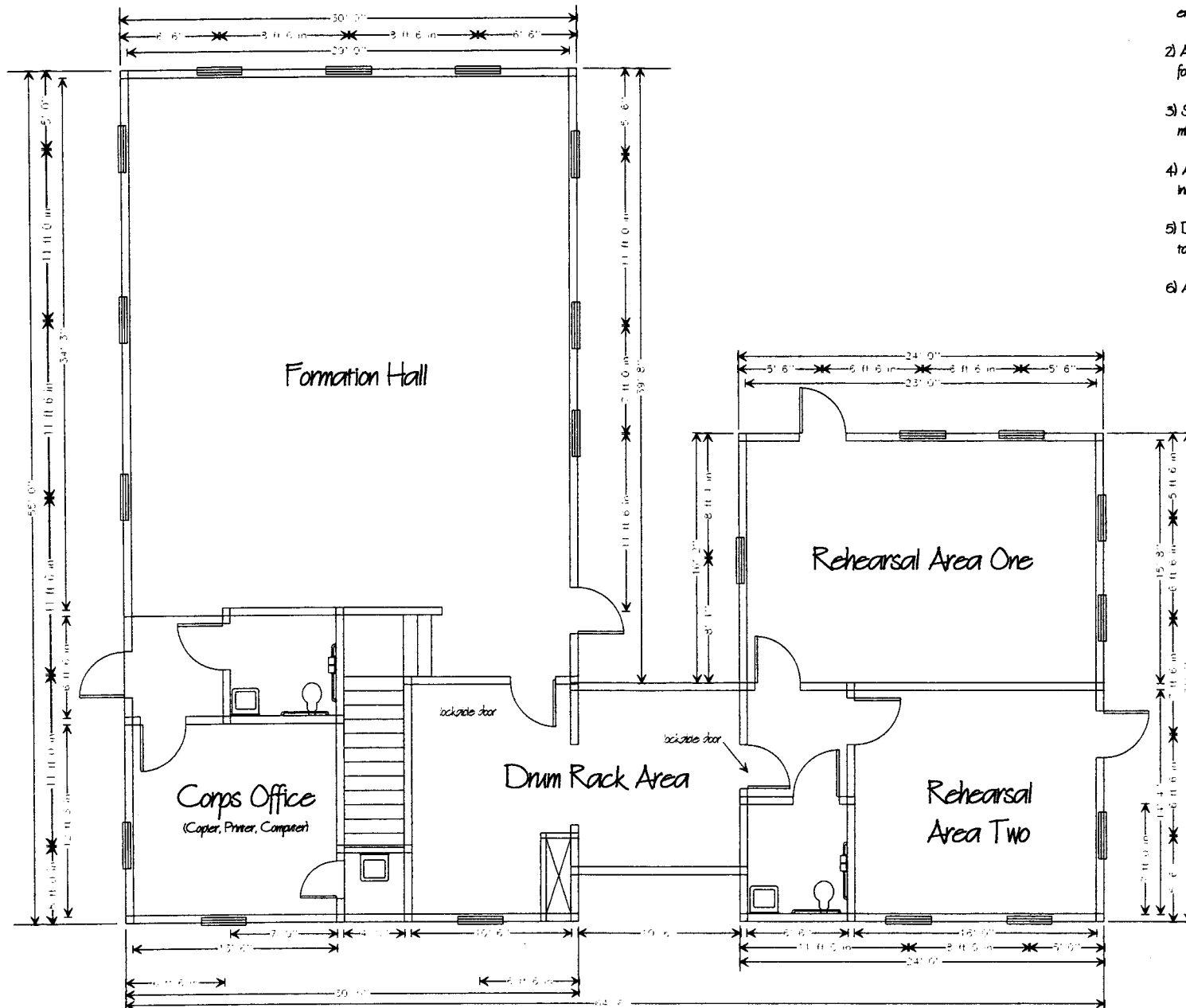
# FIFES AND DRUMS OF YORK TOWN - NORTH ELEVATION

SUBMITTED DESIGN - 95% APPROVAL

JANUARY 1ST, 2005

Notes:

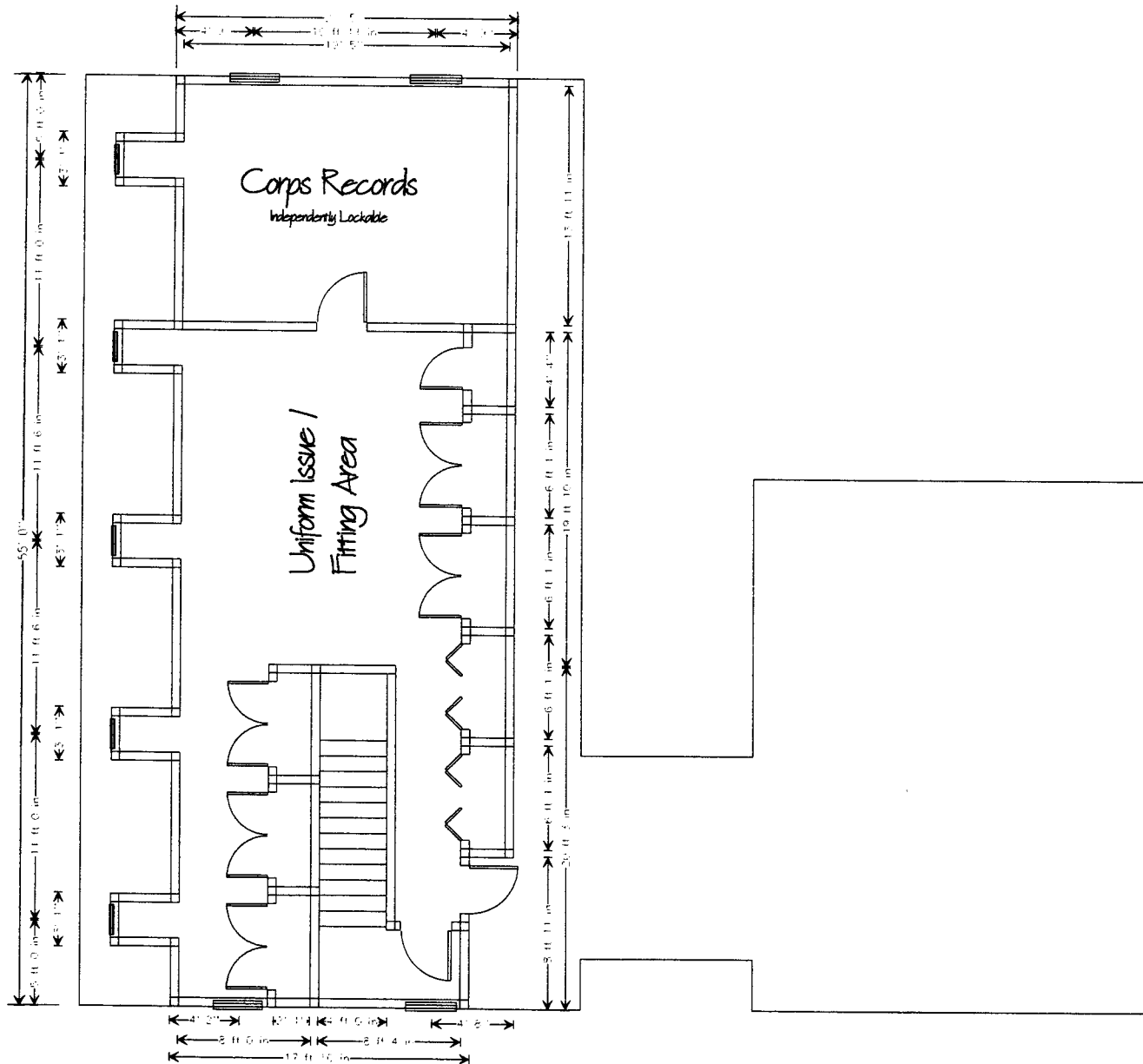
- 1) 9 Foot ceilings typical on first floor to accommodate engineered beam for second floor span.
- 2) All exterior doors swing out to accommodate requirements for occupancy greater than fifty two.
- 3) Stairs up have a rise of 7" and a run of 11" with a minimum 4' landing bottom, midway and top.
- 4) All doors and windows are 36" unless otherwise indicated.
- 5) Doors accessing drum racks and stairs are lockable to ensure security of Corps equipment.
- 6) All lavatories are handicap accessible.



FIFES AND DRUMS OF YORK TOWN - FIRST FLOOR

SUBMITTED DESIGN - 95% APPROVAL

JANUARY 1ST, 2006



Notes:

- 1) 8 Foot ceilings typical on second floor.
- 2) Wall height at back of closet diminishes to 6' to accommodate pitched roof.
- 3) Second floor is NON-PUBLIC. Use of this portion of the building is limited to Corps Officers and Members.
- 4) All doors and windows are 36" unless otherwise indicated.

FIFES AND DRUMS OF YORK TOWN - SECOND FLOOR

SUBMITTED DESIGN - 95% APPROVAL

JANUARY 1ST, 2005





# United States Department of the Interior

## NATIONAL PARK SERVICE

Colonial National Historical Park  
Post Office Box 210  
Yorktown, Virginia 23690

IN REPLY REFER TO:

L30

April 12, 2005

Amy Parker  
York County Planning Division  
P. O. Box 532  
Yorktown, Virginia 23690

In reference to the site plan for the new Fife & Drum Building to be located on Church Street in Yorktown, the National Park Service will make available for use 27 parking spaces in the parking lot adjacent to the new building site.

The parking area situated between Church Street and Read Street presently provides parking for Park Rangers at the Dispatch office and for visitors to Historic Yorktown. The intended parking use by the Fife & Drum Corps can easily be absorbed at this parking area.

If you need additional information, please contact me at 757-898-2401.

Sincerely,

P. Daniel Smith  
Superintendent

# Historic Yorktown Design Committee

## Minutes

March 23, 2005

East Room

York Hall

Yorktown, Virginia

**Members Attending:** Chuck Murray, Chairman  
Jennifer Carver  
Harvey Weinstein

**Staff Attending:** Mark Carter

Chairman Murray called the meeting to order at 7:00 PM.

The minutes of the January 19, 2005 meeting were approved unanimously.

## **Applications:**

**Application No. HYDC-7-05: Fifes and Drums of Yorktown:** Request for approval of the design of the new headquarters building proposed to be constructed at 202 Church Street.

Mr. Walt Akers, President of the Fifes and Drums of Yorktown, summarized the request. He noted that the Corps currently operates out of a 700 square foot building provided by the National Park Service but with 70 members, the space has become inadequate. He said the new building, which is proposed to be constructed on property reserved specifically for this purpose under the terms of the NPS/York County land exchange agreement, would contain approximately 3,600 square feet of rehearsal, storage and office space. He noted that the design had been coordinated with the National Park Service and State Historic Preservation Office (SHPO) and that both had approved.

The Committee reviewed and discussed the summary of the pertinent design guidelines provided in the staff memorandum. Specific discussion took place on the following:

- Brick – The Guidelines call for the use of “Virginia Red brick” but that is not clearly specified on the building plans. The Committee requested that the County provide information to Mr. Akers concerning that type of brick and possible sources.

- Mortar Joints – The Guidelines specify that mortar joints should be beige or tan. This should be added to the plan specifications.
- Use of composite siding – The Committee determined that composite (Hardie Board or equivalent) siding is appropriate for use on this new structure. The Committee also indicated that Hardie Board, or an equivalent, could be used on the sides of the dormers and that the orientation of the dormer siding could be either horizontal or parallel to the roof slope.
- Roof Type – The Committee noted that the Swan Tavern and Period Designs buildings have wood shake shingle roofs and asked Mr. Akers why that was not proposed for the new building. Mr. Akers noted that asphalt architectural shingles were proposed to be used and that was consistent with Section 106 review guidelines that discourage design features and materials that would create confusion as to whether a building is new or historic. He said the architectural grade asphalt shingle treatment had been approved by the NPS and SHPO.
- Door Hardware – Mr. Akers confirmed that the building would include simple and inconspicuous door hardware.
- Windows – The Committee discussed and approved the use of vinyl-clad double hung windows. With respect to the muntins, the Committee decided that either internal or enclosed (i.e., sandwiched between the two panes of glass) would be acceptable. Mr. Akers indicated that he preferred the enclosed type.

Considerable discussion took place concerning the grill pattern (6 over 9 vs. 6 over 6). The architectural drawings show 6 over 6 windows for the dormers and 6 over 9 windows for the first floor. The Committee asked that Mr. Akers consider using 6 over 6 windows on the first floor. Mr. Akers indicated that he would be willing to consider that but he also noted that the proposed design had been approved already by the National Park Service and the SHPO and, because of timing issues, he would not want to change something that would cause the entire proposal to have to go back through that review process. Mr. Daniel Smith, Superintendent of the Colonial National Historical Park said that he would check on the review procedure that would be required and would do all possible to approve the change at the local NPS level. After further discussion, the Committee agreed that all the windows should be 6 over 6 as long as that change did



not require additional SHPO review and as long as the 6 over 6 pattern is a stock size and does not require special order.

- Walkways – The Committee discussed the proposed walkways and agreed that they should be brown exposed aggregate.
- Lighting – Mr. Akers confirmed that the light fixtures would be simple and compact. The Committee concurred with the recommendation to have the fixtures approved by the Zoning Administrator after consultation with the Park Service.
- Shutters – Mr. Akers indicated that shutters would be installed if sufficient funds are available. The Committee noted that shutters do not have to be operable, but must be made of wood or an acceptable composite material that is indistinguishable from wood.

After further discussion, Mr. Weinstein moved that the application be approved subject to the 7 conditions recommended by the staff and with a requirement that the windows be 6 over 6, if available in the same size. Mr. Murray proposed that the motion be amended so as not to require a 6 over 6 arrangement if it would require a special order or if it would require another round of review by the SHPO. Mr. Weinstein agreed to the amendment and the motion to approve the application, subject to the following conditions, was approved unanimously:

1. The building shall be constructed in accordance with the exterior features depicted on the architectural renderings dated January 1, 2005.
2. Foundation mortar shall be beige/tan in color and joints shall be struck with a grapevine profile. Brick shall be Virginia Red Brick as specified in the Guidelines.
3. The use of Hardie Board (or equivalent) composite siding, gray architectural/dimensional composition shingles, and vinyl-clad double hung windows with snap-in or internal/enclosed muntins, as indicated on the building plans, is approved. However, windows shown as 6 over 9 shall be converted to a 6 over 6 light pattern if said change can be accommodated in the same size opening, the windows are available as a stock item rather than special order, and the change does not require re-review by the State Historic Preservation Officer.
4. All door hardware shall be simple in design and appropriate to the character of the building and the district, and shall be subject to approval by the Zoning Administrator after consultation with the National Park Service.

5. Exterior light fixtures shall be black framed, 18<sup>th</sup> century style consistent with the recommended examples of fixtures provided by the National Park Service and shall be subject to approval by the Zoning Administrator after consultation with the National Park Service.
6. If installed, shutters shall be painted Burdett's Ordinary Black Green or Market Square Tavern Dark Green.
7. The concrete walkway leading to the handicapped ramp, and the ramp itself, shall be finished with a brown exposed aggregate surface conforming to all applicable ADA requirements.

### **Old Business**

Mr. Carter reported on an administrative approval for renovation work at the Duke of York Motel and noted that one aspect of the proposed work – the use of composite siding on the end of the building - would be coming to the HYDC in April.

There being no further business to discuss, the meeting was adjourned at 8:05.

Respectfully Submitted,

Mark Carter, Secretary.



# United States Department of the Interior

NATIONAL PARK SERVICE  
Colonial National Historical Park  
Post Office Box 210  
Yorktown, Virginia 23690

IN REPLY REFER TO:

A44/L14(4290)

January 28, 2005

Mr. James O. McReynolds  
County Administrator  
County of York  
P.O. Box 532  
Yorktown, Virginia 23690-0532

Dear Mac:

Under the terms of the Yorktown Land Exchange Programmatic Agreement (April 2004), the proposed construction of a building to house the Yorktown Fifes and Drums Corps required additional Section 106 review by the National Park Service (NPS) and the Virginia State Historic Preservation Office (SHPO). The SHPO has concurred that the proposed building will have a "no adverse effect" on the historic properties of Colonial National Historical Park. You may now proceed with the project.

Enclosed are copies of the concurrence letter from the SHPO, a copy of the NPS project review comments to the architects and the actions taken by the architects in response (and marked up by the NPS) and one set of marked up drawings. You will note that some of the review comments are still outstanding. We are unable to send additional sets of drawings as we received a very limited number for review by the NPS and SHPO. Therefore, we recommend that you get additional copies from the Fifes and Drums Corps President, Walt Akers.

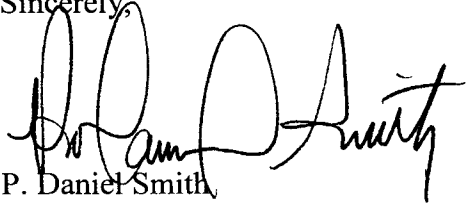
Please note on Sheets A-1 and A-2 that in order to meet ADA standards, our regional historical architect directed that the Corps Office be located on the first floor and that the second floor be used for storage of supplies and uniforms. We have also requested the use of black exterior light fixtures similar to the ones on existing NPS historic properties. The architect was previously provided with page cuts.

We would appreciate the opportunity to review the final drawings after the County has completed its consultation with the architect. At that time, we can discuss the location of the staging area, use of the Church Street Parking Lot, number of drawing copies for the park files and other matters.



Please send any drawings or correspondence to P. Daniel Smith, Superintendent, Colonial National Historical Park, P.O. Box 210, Yorktown, VA 23690.

Sincerely,

A handwritten signature in black ink, appearing to read "P. Daniel Smith". The signature is fluid and cursive, with the first name "Daniel" being more prominent than the last name "Smith".

P. Daniel Smith,  
Superintendent

Enclosures



# United States Department of the Interior

NATIONAL PARK SERVICE  
Colonial National Historical Park  
Post Office Box 210  
Yorktown, Virginia 23690

IN REPLY REFER TO:

H30(4290)

January 14, 2005

Dr. Ethel R. Eaton  
Office of Review and Compliance  
Virginia Department of Historic Resources  
2801 Kensington Avenue  
Richmond, Virginia 23221

Dear Dr. Eaton:

The County of York is proposing to construct a building to house the private non-profit Yorktown Fifes and Drums Corps. The project will be built on National Park Service (NPS) property under an easement approved by the Yorktown Land Exchange with York County in 2003. The Yorktown Fifes and Drums Corps provide additional interpretive activities through regularly scheduled programs to the public at no fee. The building will be used only for the administrative purposes of the Corps and will not be open to the general public. The Fifes and Drums Corps are responsible for completing the drawings and specifications for approval from the NPS and York County.

The area of potential effect is Lot 32 located on Church Street across from the NPS Church Street parking lot. According to the 1993 Colonial NHP General Management Plan (GMP), Lot 32 straddles the Main Street Adaptive Use and the Support districts. The goal of the Main Street Adaptive Use district is to use existing buildings and possibly new buildings for activities compatible with and complementary to historic Yorktown. The Support District provides facilities needed for visitor use or administration. The GMP specifies that new buildings will conform to "Design Compatibility in Historic Zones or Districts." NPS cultural resource management guidelines say that contemporary structures built in historic districts should harmonize with existing structures and blend with, rather than duplicate or mimic, historic structures. The design of the Fifes and Drums building meets these criteria and also conforms to York County's *Yorktown Historic District and Design Guidelines (Adopted December 2, 2003; effective June 1, 2004)*. The following mitigating measures have been taken:

1. The archeological survey of Lot 32 completed by the Colonial Williamsburg Foundation, *Archaeological Assessment of Six Lots in Yorktown, Virginia* (2001) found that the lot appears to be devoid of any historic cultural layers or features and concluded that any additional construction would not have a detrimental impact on archeological resources.

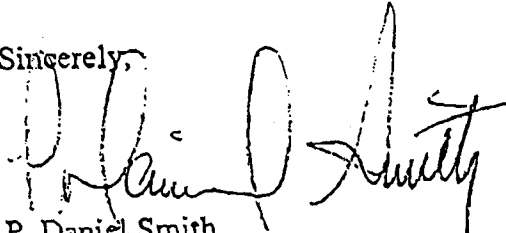
P.03  
TOTAL P.03

2. The design of the new building will conform to the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation and to the NPS Cultural Resource Management Guidelines and to the York County *Yorktown Historic District and Design Guidelines (Adopted December 2, 2003; effective June 1, 2004)*.
3. The scale, mass and materials of the new building are compatible with nearby historic structures. The exterior of the building will be white cement board with architectural shingles in the color Estate Gray.
4. Utilities will be hooked up from existing utility lines on Church Street.
5. Parking will be in the existing NPS Church Street parking lot.
6. All existing trees will remain and will be protected.

The park's 106 advisors have reviewed the project and find it will have no adverse effect on historic properties. Their findings, photographs and maps are enclosed. Also enclosed is a copy of the NPS project review comments to the architects and the actions taken by the architects in response. Some of the review comments are still outstanding and will be provided to York County who will complete review of the project, after the SHPO's concurrence, for compliance with the County requirements and regulations.

Under the terms of the Yorktown Land Exchange Programmatic Agreement (April 2004), we request your concurrence with our finding of no adverse effect at your earliest possible convenience. If you have any objections, please notify Jane M. Sundberg, 106 Coordinator as soon as possible. Her telephone number is (757) 898-2415. Please address your response to P. Daniel Smith, Superintendent, Colonial National Historical Park, P.O. Box 210, Yorktown, VA 23690.

Sincerely,



P. Daniel Smith  
Superintendent

Enclosures (sent under separate cover)

I concur that the proposed construction of the Fifes and Drums Building on Lot 32 in Yorktown, Virginia will have a "no adverse effect" on historic properties.



Ethel R. Eaton  
Manager, Office of Review and Compliance

1-18-05  
Date

PLANNING COMMISSION  
COUNTY OF YORK  
YORKTOWN, VIRGINIA

Resolution

At a regular meeting of the York County Planning Commission held in the Board Room, York Hall, Yorktown, Virginia, on the \_\_\_\_ day of \_\_\_\_, 2005:

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Present

Vote

Andrew A. Simasek, Chair  
Alfred E. Ptasznik, Jr., Vice Chair  
Alexander T. Hamilton  
John W. Staton  
Nicholas F. Barba  
Anne C. H. Conner  
John R. Davis

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On motion of \_\_\_\_, which carried \_\_, the following resolution was adopted:

A RESOLUTION TO RECOMMEND APPROVAL OF A YORKTOWN VILLAGE ACTIVITY REQUEST TO AUTHORIZE A 3000-SQUARE FOOT REHEARSAL HALL WITH ACCESSORY OFFICE AND STORAGE AT 202 CHURCH STREET IN THE VILLAGE OF YORKTOWN

WHEREAS, the Yorktown Fife and Drum Corps has submitted Application No. YVA-20-05, pursuant to Section 24.1-327(b)(2) of the Zoning Ordinance, to authorize the construction of a 3000-square foot rehearsal hall with accessory office and storage space located at 202 Church Street (Route 1003) and further identified as Assessor's Parcel Nos. 18A-1-32 and 18A-1-32A; and

WHEREAS, said application has been referred to the York County Planning Commission in accordance with applicable procedure; and

WHEREAS, the Planning Commission has conducted a duly advertised public hearing on this application; and

WHEREAS, the Commission has carefully considered the public comments and staff recommendation with respect to this application;

NOW, THEREFORE, BE IT RESOLVED by the York County Planning Commission this the \_\_\_\_ day of \_\_\_\_, 2005 the Application No. YVA-20-05

be, and it is hereby, transmitted to the York County Board of Supervisors with a recommendation of approval to authorize a 3000-square foot rehearsal hall with accessory office and storage space located at 202 Church Street (Route 1003) and further identified as Assessor's Parcel Nos. 18A-1-32 and 18A-1-32A (GPIN Nos. P12c-2482-0270 and P12c-2462-0241); subject to the following conditions:

1. This approval shall authorize the establishment of a 3000-square foot rehearsal hall with accessory office and storage space located at 202 Church Street (Route 1003) and further identified as Assessor's Parcel Nos. 18A-1-32 and 18A-1-32A (GPIN Nos. P12c-2482-0270 and P12c-2462-0241).
2. A site plan, prepared in accordance with the provisions of Article V of the York County Zoning Ordinance, shall be submitted to and approved by the County prior to any site disturbance activities on the site. Said site plan shall be in substantial conformance with the sketch plans submitted by the applicant titled "The Fifes and Drums of Yorktown" dated 5-17-04, prepared by Rickmond Engineering, Inc., and "Fifes and Drums of Yorktown," Sheet S-1, dated 6/1/04, prepared by Bay Design. Building architecture and design shall in substantial conformance with building elevations and floor plans submitted by the applicant dated January 1, 2005. Landscaping shall be in substantial conformance with the landscape plan submitted by the applicant titled "Alternative Planting, Fife & Drum Bldg., Church Street, Yorktown, VA," and dated August 6, 2004. Site plans, building architecture and design, floor plans and landscape plans shall be in substantial conformance with noted plans and elevations except as modified herein or as may be necessary to comply with site plan review requirements and requirements of the National Historic Preservation Act, Section 106.
3. The facility shall be developed in accordance with approval conditions stipulated in Yorktown Village Activity Permit Application No. HYDC-7-05, granted on March 23, 2005 by the Historic Yorktown Design Committee.
4. Any signage associated with the use shall be installed in compliance with all applicable requirements of the Zoning Ordinance.
5. Off-site parking for the facility shall be located within the existing public parking lot located across Church Street on Parcel Nos. 18A-1-38, 18A-1-44 and 18A-1-45.
6. Existing trees on the property shall be preserved as noted on the landscape plan referenced in Condition No. 2 above.

7. The property shall be developed in accordance with terms and conditions set forth in Quitclaim Deed dated August 25, 2003, between the United States of America and the County of York (reference tract 05-167-Easement) recorded as Instrument Number 030028633 at Page 0750 in the Office of the Clerk of the Circuit Court on September 5, 2003.
8. In accordance with Section 24.1-115(b)(7) of the York County Zoning Ordinance, a certified copy of the resolution authorizing this Yorktown Village Activity Permit shall be recorded at the expense of the applicant in the name of the property owner as grantor in the office of the Clerk of the Circuit Court prior to application for site plan approval or issuance of a Certificate of Occupancy, whichever occurs first.